









An attractive three bed semi-detached house, located within the ever popular Hastings Hill estate, available now, on an unfurnished basis. Internally the immaculately presented accommodation on the ground floor includes an entrance lobby, hall with staircase to the first floor, spacious lounge and a breakfasting kitchen. On the first floor there are three bedrooms and a bathroom/wc. Externally there is a driveway to the front providing off street parking and a delightful, lawned garden to the rear. The property is ideally placed for local amenities, as well as offering excellent routes to surrounding areas and major road links including the A19. Early viewing recommended.

MAIN ROOMS AND DIMENSIONS

Ground Floor

Composite entrance door into lobby.

Lobby

Inner door leading to the hall.

Hall

Radiator, staircase to first floor and door to the lounge.

Lounge



This spacious room has a double glazed window to the front, radiator and door to breakfasting kitchen.

Breakfasting Kitchen



Fitted with wall and base units with work surfaces over incorporating sink and drainer unit. There is an integrated oven and hob, space provided for inclusion of fridge freezer,

washing machine and also for breakfasting table and chairs. There is a double glazed window to the rear, double glazed door to the garden and a radiator.

First Floor Landing

Doors leading off to bedrooms and bathroom.

Bedroom 1



Double glazed window to the front, radiator, fitted sliding door wardrobes and a built-in cupboard over the stair head area.

Bedroom 2



Double glazed window to the rear and a radiator.

Bedroom 3



Double glazed window to the rear and a radiator.

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MAIN ROOMS AND DIMENSIONS

Bathroom



Fitted with a contemporary three piece suite comprising of low level WC, pedestal wash hand basin and panelled bath with shower attachment over. There is a chrome ladder style radiator and double glazed window.

Outside



Driveway to the front providing off street parking, a useful side access and attractive lawned garden to the rear of the house.

Lettings Important Notice

We endeavor to make our lettings particulars accurate and reliable. They should be considered as a general guide only and do not constitute all or any part of the contract. None of the services, fittings and equipment have been tested. Measurements, where given, are approximate and for descriptive purposes only. Prospective tenants and their advisers should satisfy themselves as to the facts, and before arranging an inspection, availability. Further information on any point of importance can be provided, if in doubt please seek clarification before proceeding with a tenancy. No person in the employment of Peter Heron Limited has any authority to make or give any representation or warranty whatever in relation to this property.

Lettings Viewing

To arrange an appointment to view this property please

contact our Fawcett Street branch on 0191 510 6114 or book viewing online at peterheron.co.uk

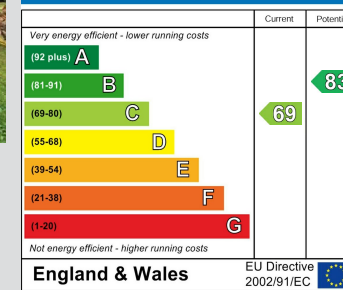
Opening Times

Monday to Friday 9.00am - 5.00pm Saturday 9.00am - 12noon

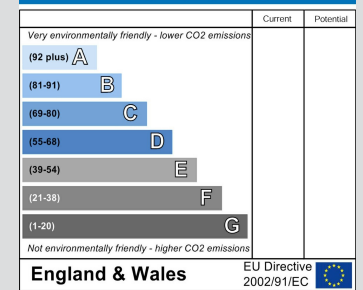
Ombudsman

Peter Heron Estate Agents are members of The Property Ombudsman and subscribe to The Property Ombudsman Code of Practice.

Energy Efficiency Rating



Environmental Impact (CO₂) Rating



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